

Planning Justification Report

Proposed Zoning By-law Amendment

88 5th Ave SW

Lot 179 & Part Lot 180

Registered Plan 132

Geographic Town of Chesley

Municipality of Arran-Elderslie

County of Bruce

Prepared for: Tyler Becker

September 2023

File No. 221251

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PLANNING JUSTIFICATION REPORT

Zoning By-law Amendment
88 5th Ave SW
Lot 179 & Part Lot 180 Registered Plan 132
Geographic Town of Chesley
Municipality of Arran-Elderslie
County of Bruce

1.0 BACKGROUND AND CONTEXT

1.1 Purpose of Report

Cuesta Planning Consultants Inc. (CPC) has been retained by Mr. Tyler Becker, to assist in the processing of a zoning by-law amendment to permit a fiveplex on lands municipally referenced as 88 5th Ave SW and legally described as Lot 179 & Part Lot 180 Registered Plan 132, in the geographic Town of Chesley, now in the Municipality of Arran-Elderslie, County of Bruce.

This report will examine the merits of the proposed use by evaluating the proposal against the policies of the Provincial Policy Statement (PPS), the Bruce County Official Plan (BCOP), the Arran-Elderslie Official Plan (AEOP) and the Municipality of Arran-Elderslie By-Law Number 36-09 (By-law 36-09).

This report and the accompanying application and materials are intended to satisfy the requirements of Section 34 (10.1 & 10.2) of the Planning Act, RSO 1990 regarding the submission of a complete application.

1.2 Location and Description of Subject Lands

The subject parcel (the Site) is located in the central section of the Chesley Settlement Area, west of 1st Ave S (County Road 30) as depicted in Figure 1 below.

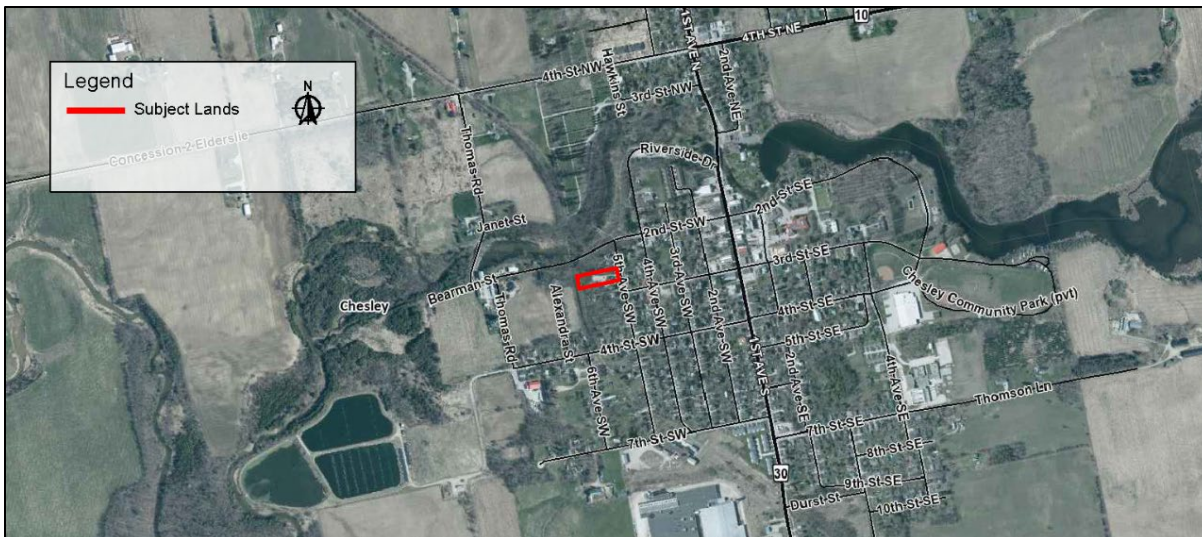


Figure 1 Location of Subject Lands

The Site is 0.3 hectares in area with a frontage of 32.2 metres on 5th Ave SW and depth of 99.9 metres; and presently contains a two-storey five (5) unit apartment building, driveway and parking area, a walkway as well as some woodlands present in the front and year yards.

The surrounding land uses are primarily residential in nature with woodlands interspersed. To the south of 2nd St SW are single detached residences fronting on 5th Ave SW with residential continuing as the primary land use east of the Site. Northwest of the Site, adjacent to 2nd St SW, is the North Saugeen River. Bisecting the River is the Chesley Heritage Trail which follows the old rail line extending directly west of the Site. Further west of the trail is a large agricultural parcel that is part of a cash crop operation.



Figure 2 Surrounding Lands

1.3 Description of Proposal

The subject proposal is to allow for establishment of a one-storey fiveplex structure. The proposed structure is to be located directly west of the existing building, perpendicular to the 5th Ave SW. As a result, the fiveplex will not have frontage on a roadway and can therefore be considered as part of a cluster townhouse development. Each dwelling unit will contain two (2) bedrooms, a shared kitchen/dining and living room, a bathroom and laundry room. The fiveplex will also include a storage and utilities unit. All units will have a covered porch with independent access from the front. It is the intention of the applicant to rent out each unit.

The proposal will also require the relocation and expansion of the driveway as well as an increase to the parking area in order to implement the additional parking required for the fiveplex. A total of fifteen (15) parking spaces will be provided for the Site. The proposed fiveplex will have seven (7) dedicated parking spaces, two (2) of which will be designated for visitor parking. Landscaping will be created along the southern and western boundaries, next to the entrances of each unit and within the parking area as a buffer between the spaces and the fiveplex.

The site plan (Appendix 1) depicting the proposal is set out in figure 3 below.

Please see Appendices 2 and 3 for additional plans.

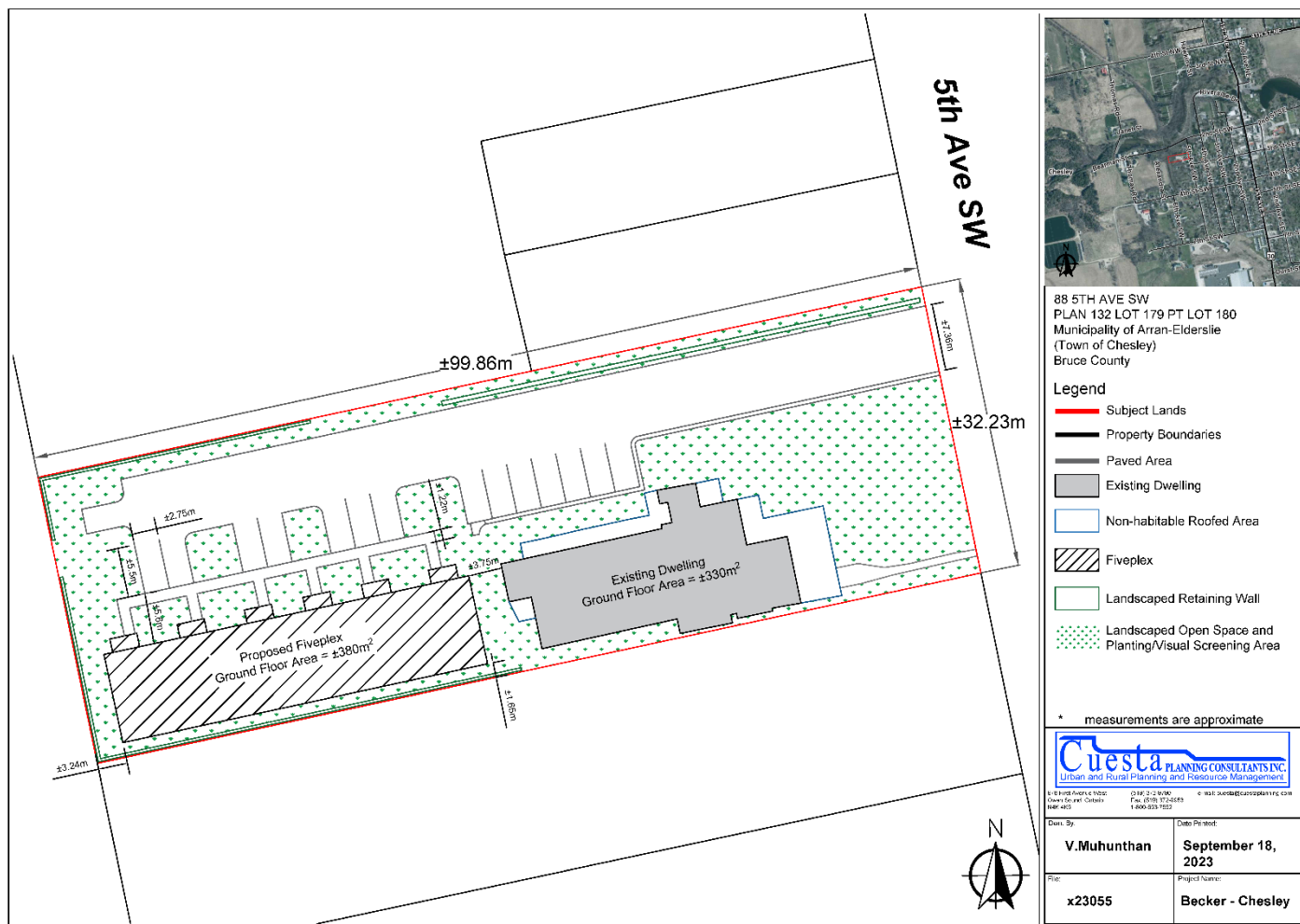


Figure 2 Site Plan

1.4 Pre-Submission Consultation and Required Approvals

Pre-submission consultation with respect to the subject proposal began in July of 2023. Preliminary comments received from the County of Bruce planning staff indicated that the Site is subject to site-specific zoning (Residential: Medium Density (R3-3)). The amending by-law (Town of Chesley By-law No. 14-86) only permits a multiple unit dwelling with up six (6) apartment units and outlines specific areas for landscaped open space, parking, and a planting strip. County of Bruce staff noted that a zoning by-law amendment would be required as the proposed fiveplex would result in a secondary structure on the property located within the area designated for landscaped open space. In support of the zoning by-law amendment, it was requested by County staff that an engineered lot grading and drainage plan would be required.

Pre-submission consultation occurred between the Applicant and the Saugeen Valley Conservation Authority (SVCA) in April 2022. A preliminary concept was discussed with SVCA staff. It was determined that if the construction of the structure falls within the regulated area, then a review process by the SVCA would be required. As the finalized proposal contemplates minor encroachment of the fiveplex into the regulated area as well as the need for grading to expand the driveway and parking area, a permit from the SVCA may be required.

The required approvals are reflected in Table 1.

Table 1 Approvals Required

Application	Approval Authority
<p><u>Zoning By-law Amendment</u></p> <p>A Zoning By-law Amendment application will be required to rezone the subject lands to permit the proposed fiveplex development.</p>	Municipality of Arran-Elderslie

2.0 LAND USE POLICY CONSIDERATIONS

The following analysis of the applicable land use policies considers how the proposal will meet the goals and intent of the relevant policy and remain compatible with surrounding land uses. Taking into account provincial, county and local policies, it will be determined how the proposal represents appropriate land use planning.

In addition to the Provincial Policy Statement, the Bruce County Official Plan (BCOP), the Arran-Elderslie Official Plan (AEOP) and the Municipality of Arran-Elderslie By-Law Number 36-09 (By-law 36-09) will also be evaluated as land use policy applicable to the proposal.

2.1 Provincial Policy Statement (PPS)

As stated under Section 3 of the Planning Act, all decisions by any authority that affect a planning matter shall be consistent with the Provincial Policy Statement (PPS). Any decisions made on or after May 1st, 2020 are to be consistent with the 2020 PPS. The following analysis will evaluate the proposal against applicable PPS policy.

Although the PPS is to be read in its entirety, the following specific provisions are deemed to be the most applicable to the consideration of the proposal.

Table 2 Provincial Policy Statement Evaluation

Table 2 – Provincial Policy Statement Evaluation

Section	Policy	Evaluation
1.0 Building Strong Healthy Communities		
1.1 Managing and Directing Land Use to Achieve Efficient and Resilient Development and Land Use Patterns		
1.1.1 Healthy, liveable and safe communities are sustained by:		
a)	<i>promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;</i>	<i>The proposal will create an efficient land use pattern by utilizing an existing lot to bolster the housing stock which will providing a modest increase to the property tax revenue for the Municipality and the County.</i>
b) (in part)	<i>accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons);</i>	<i>The establishment of the proposed fiveplex will aid the Province in achieving a wider range and mix of residential types.</i>

c)	<i>avoiding development and land use patterns which may cause environmental or public health and safety concerns;</i>	<i>The proposed development is not within any significant natural heritage feature and is situated within the Chesley Urban Area which features full municipal services.</i>
h)	<i>promoting development and land use patterns that conserve biodiversity;</i>	<i>As previously noted, the proposed lot does not affect any significant natural heritage feature. Existing trees may be removed in order to facilitate the development; however, the retained open space can be utilized for planting in order to bolster biodiversity.</i>
1.1.3 Settlement Areas		
1.1.3.1	<i>Settlement areas shall be the focus of growth and development.</i>	<i>The subject lands are located within the Chesley Settlement Area.</i>
1.1.3.2 Land use patterns within settlement areas shall be based on densities and a mix of land uses which:		
a)	<i>efficiently use land and resources;</i>	<i>The proposal represents an efficient use of land as the Site, which presently contains a two-storey apartment building, will be further developed to support a fiveplex without extending municipal services. Placing this type of development in urban areas is the most efficient use of municipal services.</i>
b)	<i>are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion;</i>	<i>The proposal is located in an area with full municipal services and the increase in property tax can alleviate costs related to the increase in such services.</i>
1.1.3.3	<i>Planning authorities shall identify appropriate locations and promote opportunities for transit-supportive development, accommodating a significant supply and range of housing options through intensification and redevelopment where this can be accommodated taking into account existing building stock or areas, including brownfield sites, and the availability of suitable existing or planned infrastructure and public service facilities required to accommodate projected needs.</i>	<i>If approved, the proposal will meet this provincial goal as the development represents an infill scenario in a fully served area where an existing lot of record will accommodate additional housing supply in the form of the fiveplex.</i>
1.1.3.4	<i>Appropriate development standards should be promoted which facilitate intensification, redevelopment and</i>	<i>The proposed rezoning will permit the establishment of a fully serviced fiveplex dwelling which will facilitate</i>

	<i>compact form, while avoiding or mitigating risks to public health and safety.</i>	<i>residential intensification on the Site.</i> <i>A building permit will be required for the proposed fiveplex to ensure that it meets the standards of the Ontario Building Code.</i>
1.4 Housing		
1.4.3 Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected market-based and affordable housing needs of current and future residents of the regional market area by:		
b) 2.	<i>permitting and facilitating: all types of residential intensification, including additional residential units, and redevelopment in accordance with policy 1.1.3.3;</i>	<i>The proposal will intensify the residential use of the subject lands by permitting a fiveplex alongside an existing six (6) unit dwelling which represents infill development.</i>
c)	<i>directing the development of new housing towards locations where appropriate levels of infrastructure and public service facilities are or will be available to support current and projected needs;</i>	<i>The proposed fiveplex development will be located on an existing lot with access to municipal water and sewage services.</i>
1.6.6 Sewage, Water and Stormwater		
1.6.6.2	<i>Municipal sewage services and municipal water services are the preferred form of servicing for settlement areas to support protection of the environment and minimize potential risks to human health and safety. Within settlement areas with existing municipal sewage services and municipal water services, intensification and redevelopment shall be promoted wherever feasible to optimize the use of the services.</i>	<i>The proposal achieves this policy as the fiveplex development will be serviced with municipal water and sewage systems.</i>
2.0 Wise Use and Management of Resources		
2.1 Natural Heritage		
2.1.1	<i>Natural features and areas shall be protected for the long term.</i>	<i>As the existing trees are required to be removed, the open space can be landscaped with plants to add to the natural features on site.</i> <i>As previously noted, no significant natural heritage features will be affected by the proposal.</i>

2.2 Bruce County Official Plan (BCOP)

Under the Bruce County Official Plan (BCOP), the subject lands are designated as being within the Primary Urban Community of Chesley of the Municipality of Arran-Elderslie (figure 4). It is a principal

direction of the BCOP to concentrate growth and development to these designated urban areas to promote the fullest range of land uses in settlement areas in the most efficient manner.



Figure 4 Bruce County Official Plan Official Plan 'Schedule A' (excerpt)

The following table includes an analysis of the proposal against applicable BCOP policies.

Table 3 Bruce County Official Plan Evaluation

Table 3 – Bruce County Official Plan Evaluation

Section	Policy	Evaluation
4.4 Population And Housing		
4.4.1 Population and Housing Objectives		
i) (in part)	<i>Direct the majority of the anticipated growth to Primary and Secondary Urban Communities.</i>	<i>The proposed development is suitable as it will assist in providing a wider variety of housing in Chesley, which is a Primary Urban Community where population growth is expected to occur.</i>
ii)	<i>Ensure a range of housing types and tenure to meet the broad range needs of the County residents;</i>	<i>The proposal is seeking to establish multi-unit residential building in an area that predominantly contains single detached dwellings.</i>
v)	<i>Provide for intensification in existing urban areas which enhances the positive characteristics of those areas;</i>	<i>The proposal reflects this County objective as it will provide for additional housing through intensification by establishing a one storey fiveplex that does not offend the building characteristics of the neighbourhood.</i>
vi)	<i>Ensure that new development occurs in a cohesive and efficient manner without undue impact on the social or natural environment;</i>	<i>The proposal will not have a negative impact on the social or natural environment as it represents an extension of a multi-family land use.</i>

5.2.2 Primary Urban Communities

5.2.2.2 General Policies

.1 (in part)	<i>It is the policy of County Council to encourage and strengthen the role of Primary Urban Communities as regional service centres within the County. These communities will accommodate the largest concentration and the widest range of residential, tourism, economic and social services and facilities.</i>	<i>The proposed development is suitable as it will assist the County achieve a wider range of residential types within Chesley which is designated as a Primary Urban Community while not negatively affecting the low density character of the surrounding area.</i>
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5.2.2.3 Permitted Uses

(in part)	<i>The permitted uses shall include a broad variety of residential, home occupations, commercial, industrial and institutional land uses.</i>	<i>The proposal reflects a permitted use.</i>
2)	<i>Facilitating intensification in all areas within settlement areas including adaptive re-use or redevelopment of sites that previously had development and underutilized lands;</i>	<i>The proposal will facilitate intensification in Chesley by establishing a fiveplex on a vacant portion of the subject lands.</i>
10)	<i>Directing development to be cost effective, environmentally sound, sustainable, and compatible with existing uses;</i>	<i>The proposed development is a cost effective option for providing medium density housing that does not negatively impact the environment and does not offend the compatibility with the surrounding residential uses because the fiveplex is one storey and low profile structure.</i>
11)	<i>Ensuring adequate infrastructure is, or will be, established to serve the anticipated development.</i>	<i>As noted above, the proposed fiveplex will connect to existing municipal servicing systems.</i>

2.3 Arran-Elderslie Official Plan (AEOP)

The subject lands are primarily designated as Residential with a small portion in the northwestern section designated as Natural Environment and Hazard (figure 5). The proposed development is to occur entire within the Residential designation. Under the AEOP, it is a policy of the Municipality to ensure that urban areas such as Chesley “have a plentiful residential land supply, and a good existing housing mix.”



Figure 5 Arran-Elderslie Official Plan Official Plan 'Schedule A' (excerpt)

The following table includes an analysis of the proposal against applicable AEOP policies.

Table 4 Arran-Elderslie Official Plan Evaluation

Table 4 – Arran-Elderslie Official Plan Evaluation

Section	Policy	Evaluation
3.1 Residential		
3.1.1 Goals		
	<i>Promote a mixed and affordable supply of housing to meet the present and future needs of all segments of the Communities, while at the same time ensuring that new residential development and redevelopment is in keeping with the character of the individual neighbourhood.</i>	<i>The proposal will help the Municipality achieve a mixed supply of housing by permitting a fiveplex development in a predominantly low density residential neighbourhood. The creation of new housing units will help meet the present and future housing needs and will not be in conflict with the character of the neighbourhood.</i>
3.1.2 Actions		
<i>b) (in part)</i>	<i>Encourage a wide range of housing types and designs;</i>	<i>The proposal will aid the Municipality in achieving a wider range of housing types and will not offend the surrounding low density neighbourhood.</i>
<i>c)</i>	<i>Encourage the infill of existing residential areas in character with the built form of the community.</i>	<i>The proposal compliments this local policy as the establishment of the fiveplex constitutes infill development. The choice of exterior building materials can assist in blending with the built structures in the area.</i>
3.1.3 Permitted Uses		
<i>(in part)</i>	<i>Lands designated “Residential” shall be predominantly used for ‘Low Density Residential’ and “Medium Density Residential” uses.</i>	<i>As illustrated in figure 6, the subject lands are primarily designated as Residential in the Arran-Elderslie Official Plan which permits medium density residential uses.</i>
3.1.4 Residential Policies		

b)	<i>The Municipality shall encourage housing forms and densities designed to be affordable to moderate and low income households.</i>	<i>The proposed fiveplex will provide a more affordable housing option as compared to a single detached dwelling.</i>
c)	<i>The Municipality shall support a wide range of housing types, zoning standards and subdivision design standards to provide a full range of housing types and opportunities.</i>	<i>If approved, the proposal will help support this policy objective by permitting two multi-unit residential buildings.</i>
3.1.7 Medium Density Residential <i>The Municipality shall classify buildings or structures with four or more dwelling units, such as townhouses, rowhouses, apartment buildings and other similar multi-unit forms of housing as 'Medium Density Residential'.</i>		
a) (in part)	<i>'Medium Density Residential' development shall not exceed a Gross Density of 48 units per Gross Hectare and shall not be less than 24 units per gross hectare. While recognizing the municipality's inability to establish occupancy restrictions, units that are designed and expected to accommodate senior citizens in a government sponsored development may be permitted at a density not to exceed 100 units per gross hectare.</i>	<i>The Site presently contains a six (6) unit apartment building. If approved, the proposed fiveplex will add five (5) more units, resulting in a total of eleven (11) units and a Gross Density of 36.7 units per Gross Hectare.</i>
b)	<p><i>When the Municipality is considering the establishment of 'Medium Density Residential' development, the following development criteria shall be used:</i></p> <p><i>ii) The development shall be compatible with existing land uses in the immediate area and the general built form of surrounding buildings;</i></p> <p><i>iii) Adequate off-street parking and appropriate access and circulation for vehicular traffic, including emergency vehicles shall be required;</i></p> <p><i>iv) Adequate buffering from abutting uses shall be provided;</i></p> <p><i>v) Suitable landscaping, lot grading, and storm water</i></p>	<p><i>The proposed fiveplex is compatible with the existing land use on the Site. Its low profile and location at the rear of the Site will provide a degree of compatibility with the neighbourhood.</i></p> <p><i>The proposal contemplates the expansion of the existing parking and driveway areas in order to accommodate the increased density.</i></p> <p><i>The location of the proposed fiveplex is setback from the neighbouring dwellings and will be surrounded by the existing treeline.</i></p> <p><i>A lot grading plan has been submitted in conjunction with the subject application.</i></p>

	<p><i>management/drainage shall be provided;</i></p> <p><i>vi) Suitable on-site open space shall be provided in relation to the size and nature of the development;</i></p> <p><i>vii) Water supply and sewage disposal services shall be provided in accordance with Section 5.4.1.</i></p>	<p><i>Approximately 34% of the Site will be available for open space, which meets the requirement set out in the zoning by-law.</i></p> <p><i>The proposal will be serviced with municipal sewage and water services.</i></p>
c)	<i>Medium density residential development shall be placed in a separate zone in the Comprehensive Zoning By-law.</i>	<i>The subject lands are presently zoned as Residential Medium Density (R3-3).</i>
<p>3.1.8 Residential Infill Policy <i>It shall be the policy of the Municipality to give fair consideration to proposals to infill in existing residential areas when such infilling is found to be compatible with the character of the surrounding residential neighbourhood.</i></p>		
a)	<i>To determine to what extent infilling is compatible with the character of the surrounding neighbourhood, it shall be demonstrated that the proposed development is in keeping with the traditional development pattern in the immediate area.</i>	<i>Although the immediate area only contains one medium density residential building, the proposed fiveplex's low profile, landscaped area and building materials will make it compatible with the surrounding properties. Further, the existing tree cover and setback from 5th Ave SW will provide physical and visual buffering.</i>
b)	<i>Factors such as lot sizes, lot frontage, lot coverage and density, streetscapes, building form and typical building setbacks shall be taken into consideration in determining the compatibility of proposed infilling developments with the character of the surrounding residential neighbourhood.</i>	<i>These factors have been taken into consideration with respect to the proposal through the preparation of the appended lot grading plan, floor plan and elevation plan which result in a compatible development.</i>
c)	<i>Infill proposals may be required to provide a 'lot grading and drainage plan' that addresses potential impacts on abutting properties.</i>	<i>A lot grading plan has been submitted in support of the proposal.</i>

2.4 Municipality of Arran-Elderslie By-Law Number 36-09 (By-law 36-09)

According to By-law 36-09, the majority of the Site is presently zoned as Residential: Medium Density (R3-3) with a small portion zoned as Environmental Protection (EP) reflecting the Natural Environment and Hazard designation in the AEOP (figure 6). As previously mentioned, the R3-3 zone is a site-specific zone that permitted the existing six (6) unit dwelling, resulted from the passing of the Town of Chesley By-law No. 14-86 and its accompanying schedule as illustrated in figure 7 below.

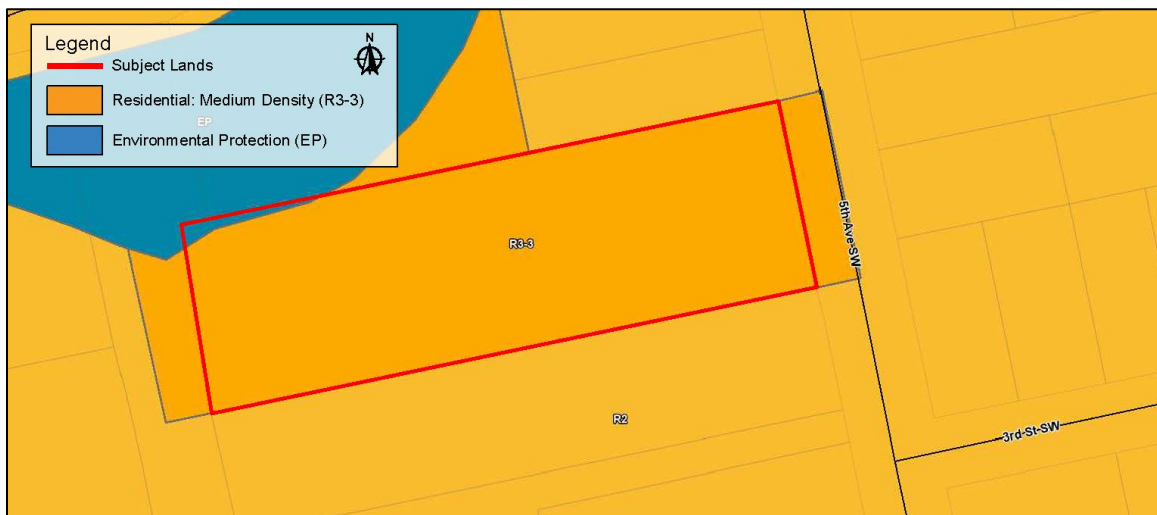


Figure 6 Municipality of Arran-Elderslie Zoning By-law (excerpt)

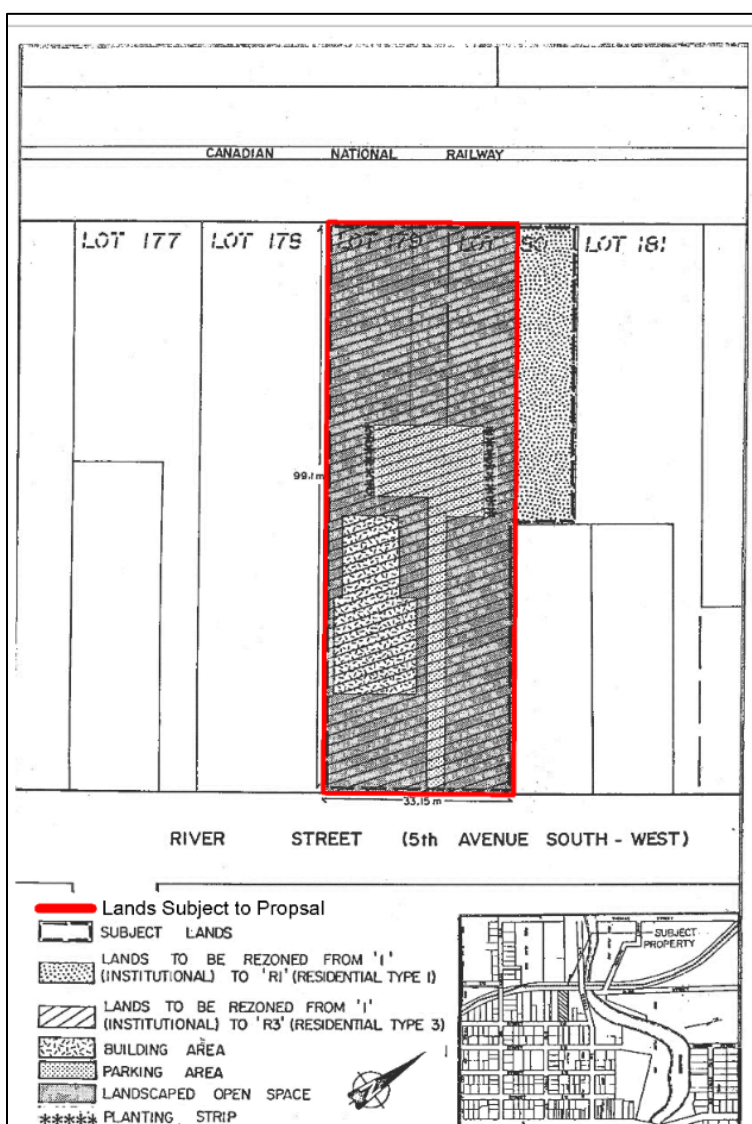


Figure 7 Town of Chesley By-law 14-86 Schedule A (excerpt)

The site-specific provisions as set out in by-law 14-86 are as follows:

- a) Building Area
 - i) The use of land shall be prohibited except for the purpose of a “Multiple Unit Dwelling”.
 - ii) A maximum of (6) six apartment units shall be permitted in the area shown as “Building Area”.
- b) Parking Area
 - i) The use of land shown as “Parking Area” shall be prohibited except for the purpose of a “Parking Area”.
 - ii) Not less than (9) nine parking spaces shall be provided in the area shown as parking area.
- c) Landscaped Open Space
 - i) The use of land shown as “Landscaped Open Space” shall be prohibited except for the purpose of “Landscaped Open Space” and structures accessory to the Multiple Unit Dwelling.
- d) Planting Strip
 - i) The use of land shown as “Planting Strip” should be prohibited except for the purpose of a “Planting Strip”.

The proposal will require an amendment to the existing site-specific zoning in order to permit a second building on the lot and to recognize that the location of the fiveplex and expansion to the parking area will overlap the lands presently zoned for landscaped open space and planting strip. Further, the term “Fiveplex” is not defined in By-law 36-09.

The proposed building is most aligned with the “Dwelling Townhouse Cluster” which is defined as “a residential dwelling divided vertically into three or more residential dwelling units, each dwelling unit having an independent front and rear entrance immediately abutting the front and rear walls of each dwelling unit where each dwelling unit does not have frontage onto a Class 1 or Class 2 roadway”.

As the proposed building does not provide independent rear access, the amending by-law will need to recognize this deficiency. In order to simplify the zoning provisions that will apply to the property, by-law 14-86 should be repealed and all provisions that apply to the existing development shall be incorporated into the new amending by-law.

All other aspects of the R3 zone that apply to the Site are considered in the table below. The zoning provisions that will require relief are highlighted in yellow.

Table 5: Proposed Zoning Standards (R3 – ‘Dwelling, Townhouse Cluster’)

Provision	Required R3 – Dwelling, Townhouse Cluster’	Proposed R3 – Special Zone
<i>Minimum Lot Area</i>	775m ² (fiveplex) + 650m ² (existing) = 1425m ² (cumulative)	±3215m ²
<i>Minimum Lot Frontage</i>	15.0 metres (50 ft)	±32.2 metres (105.7 ft)
<i>Yard Provision (a)i.</i>	The setback between the front wall of a ‘Townhouse Cluster’ and an interior roadway or parking area shall be no less than 4 metres (13 ft)	±5.6 metres (18.3 ft)
<i>Yard Provision (a)ii.</i>	The setback between the end side walls of each ‘Townhouse Cluster’ (building ends) shall be no less than 3 metres (10 ft)	±3.7 metres (12.3 ft) to existing building.
<i>Yard Provision (a)iii.</i>	The setback between the rear walls of a ‘Townhouse Cluster’ shall be no less than 3 metres (10 ft)	Not Applicable.
<i>Yard Provision (a)iv.</i>	The setback between the end side walls and/or rear walls of a ‘Townhouse Cluster’ and an abutting lot and/or exterior roadway shall be no less than 7.5 metres (25 ft)	±1.5 metres (5.0 ft)
<i>Maximum Lot Coverage</i>	40%	±29%
<i>Minimum Landscaped Area/Open Space</i>	30%	±40%
<i>Maximum Height ‘Main Building’</i>	10.0 metres (33ft)	±4.2 metres (13.7 ft)
<i>Minimum Gross Floor Area</i>	90 m2 (969 ft2)	±75m2 (807.3ft2) per unit
<i>Required Number of Spaces [Minimum]</i>	7 spaces required for fiveplex	7 spaces provided for fiveplex.
	8 spaces required for existing	15 spaces provided in total.

<i>Planting Area/Visual Screening</i> 3.15.2.1	Except as otherwise provided, a Planting Area/ Visual Screening shall have a minimum width of 1.5 metres (5 ft).	±1.5 metres (5 ft)
<i>Planting Area/Visual Screening</i> 3.15.3	Where interrupted by walkways or driveways, a Planting Area/Visual Screening shall not be provided closer than 1.5 metres (5 ft) to a walkway or 3 metres (10 ft.) to a driveway.	±1.2 metres (3.9 ft)
<i>Landscaped Open Space</i> 3.16.1	<p>Except as otherwise provided, 'Landscaped Open Space' shall be provided as per Section 3.16, where required by this By-law as follows:</p> <p>(i) a minimum of 3 metres (9.8 ft) in width along all Front and Exterior yards; and</p> <p>(ii) a minimum of 2 metres (6.6 ft) in width along all Interior and Rear yards.</p>	<p>(i) ±22 metres (72 ft)</p> <p>(ii) ±3.2 metres (10.5 ft)</p>

3.0 SUMMARY AND CONCLUSIONS

The foregoing report has provided a planning analysis of the proposed zoning by-law amendment. If approved, the subject proposal will permit the establishment of a new one-storey fiveplex structure adjacent to an existing six (6) unit two-storey apartment dwelling thereby bolstering the residential density of the Site. The appended plans demonstrate that the proposed development will meet the development standards of the Municipality and is compatible with the surrounding area.

There is an existing site-specific zoning that applies to the subject property, which incorporates a site plan into the by-law. To simplify what provisions that apply to the Site, the existing by-law (Town of Chesley By-law No. 14-86) should be repealed. The proposed by-law can incorporate the existing building location, parking and so on into the proposed by-law.

Based on the foregoing report, the following is concluded;

- 1) This proposal is consistent with the Provincial Policy Statement.
- 2) This proposal meets the Bruce County Official Plan policy related to primary urban communities and meets policy direction related to providing a range of housing types in the County.
- 3) This proposal conforms to the relevant policy requirements regarding residential infill development it allows for the establishment of a fiveplex while still retaining the exiting multi-unit dwelling.
- 4) This proposal meets the general intent and purpose of the R3 zone, but will require relief with respect to setbacks and minimum gross floor area. As noted, the amending by-law will be repealed to accommodate the proposal.
- 5) This proposal represents appropriate land use planning in a fully serviced urban area.

Respectfully Submitted,



Prepared by Vaishnan Muhunthan, BURPI
Cuesta Planning Consultants Inc.



Approved by Don Scott, MCIP, RPP
Cuesta Planning Consultants Inc.



Appendix 1

Site Plan



Appendix 2

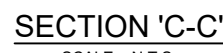
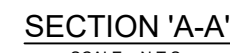
Lot Grading Plan

3. DRAWINGS ARE NOT TO BE SCALED.
4. ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON THE SITE PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER BEFORE PROCEEDING.
5. TOPOGRAPHIC SURVEY INFORMATION PROVIDED BY D. CULBERT LTD. O.L.S. DATED OCTOBER 20, 2021, WHICH MAY BE FINAL, ACCURATE OR COMPLETE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL GEODETIC INFORMATION PROVIDED HEREIN.
6. BUILDING DRAWINGS PREPARED BY DAVID JAMES DIEBEL ARCHITECT INC., DATED SEPTEMBER 21, 2022, WHICH MAY NOT BE FINAL OR COMPLETE.
7. UNLESS OTHERWISE NOTED ON THE DRAWINGS, THE STANDARD MUNICIPAL, COUNTY, MOI, DRAWINGS AND OPS ARE TO CONSTITUTE PART OF THIS CONTRACT AND DRAWINGS.
8. REFER TO O.B.C. - 2012 STANDARDS AND SPECIFICATIONS AND MUNICIPALITY SPECIFICATIONS AND STANDARD DRAWINGS FOR LIST OF APPROVED MANUFACTURERS AND MATERIALS.
9. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNERS CONTRACTOR FROM OBTAINING, BUT NOT LIMITED TO THE FOLLOWING PERMITS, ROAD REGENER PERMITS, RELLOCATION OF SERVICES, ENCROACHMENT AGREEMENTS, APPROACH APPROVAL PERMITS, ETC.
10. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES PRIOR TO AND DURING CONSTRUCTION. LOCATION OF EXISTING UTILITIES TO BE VERIFIED IN THE FIELD.
11. ALL LOCATED, SUPPORTED AND PROTECTED TO THE SATISFACTION OF THE UTILITY COMPANY DURING THE CONSTRUCTION PERIOD.
12. THE CONTRACTOR IS TO OBTAIN, AND PAY FOR ANY NECESSARY PERMITS REQUIRED BY THE MUNICIPALITY PRIOR TO CONSTRUCTION.
13. ANY UTILITY RELOCATIONS DUE TO THIS DEVELOPMENT TO BE UNDERTAKEN AT THE EXPENSE OF THE OWNER/DEVELOPER.
14. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE ENGINEER WHICH MUST BE RETURNED AT THE COMPLETION OF WORK.
15. DRIVEWAYS SHALL BE SETBACK A MINIMUM CLEARANCE OF 1.5m FROM ALL ABOVEGROUND SERVICES OR OTHER OBSTRUCTIONS.
16. ALL CONSTRUCTION WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.
17. ANY CONFLICTS WITH EXISTING SERVICES SHALL BE RECTIFIED AT THE OWNER'S EXPENSE.

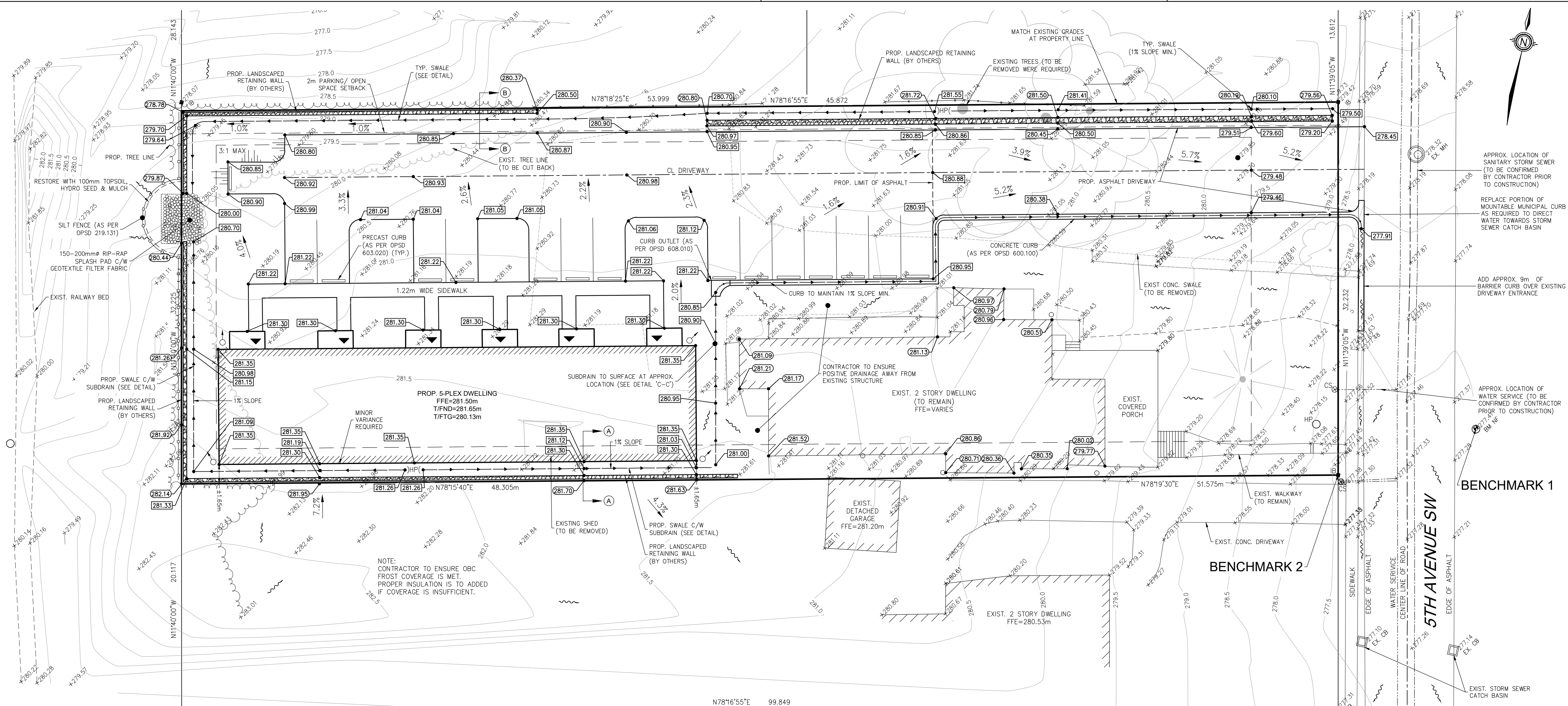
THIS IS NOT A LEGAL PLAN. LEGAL BOUNDARY INFORMATION BASED OF LOT 179 & 180 REGISTERED PLAN 132 WHICH MAY NOT BE COMPLETE OR FINAL. CONTRACTOR TO REFER TO ORIGINAL PLAN TO VERIFY ALL INFORMATION.

1. ALL GRADINGS TO CONFORM TO OPSS MUNI 2017 AND OPSS MUNI 2006.
2. CONTRACTOR TO RESTORE AREAS ON PUBLIC R.O.W. OR ADJACENT LANDS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION TO PREVIOUS CONDITION OR BETTER.
3. ALL DRIVEWAY AND GRADING MATERIAL AND CONSTRUCTION METHODS MUST CONFORM TO CURRENT MUNICIPAL STANDARDS AND SPECIFICATIONS.
4. ALL FILL WITHIN THE SITE TO BE COMPACTED TO A MIN. OF 98% STD. PROCTOR DRY DENSITY. MATERIAL COMPACTED TO OPSS MUNI 501.
5. ALL DISTURBED AREAS TO RECEIVE MINIMUM 100MM TOPSOIL AND SEED.
6. THE CONTRACTOR SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF 6M BLUEPLAN ENGINEERING LIMITED AND THE MUNICIPALITY.
7. PRIOR TO THE END OF THE FIRST GROWING SEASON, LANDSCAPING TO BE MAINTAINED UNTIL IT IS ESTABLISHED.
8. ALL TOPSOIL, SOIL, SEED, AND MULCH TO BE MAINTAINED TO THE SATISFACTION OF THE ENGINEER.
9. ALL COMPACTION TO BE CERTIFIED BY A GEOTECHNICAL CONSULTANT.
10. DRAINAGE SWALE GRADE SHALL BE MIN. 1% MAX. 6% ALL SWALES 1% OR LESS REQUIRE 100mmD PERFORATED SUBDRAIN c/w CLEAR FILTER FABRIC.
11. SLOPES IN LANDSCAPE AREAS AND ON BERMS SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL, UNLESS NOTED OTHERWISE.
12. UNDERSIDE OF DWELLING/GARAGE SLAB TO BE 0.5m ABOVE SEASONAL HIGH GROUNDWATER ELEVATION.
13. IT IS THE OWNER/DEVELOPERS RESPONSIBILITY TO VERIFY THE SUITABILITY OF FOUNDING SOLS.
14. THE CONTRACTOR IS RESPONSIBLE TO ADJUST THE UNDERSIDE OF FOOTING ELEVATION IN THE FIELD TO ACHIEVE A PROST CODED ≥ 220 mm MINIMUM CLEARANCE DOWN FROM FINISHED GRADE.
15. WHERE FOOTINGS ARE INSTALLED IN GROUNDWATER, ALL FOOTINGS SHALL BE DESIGNED IN ACCORDANCE WITH CBC 2012 (AS AMENDED), OR AS DIRECTED BY THE MUNICIPAL ENGINEER OR GEOTECHNICAL CONSULTANT.
16. PONDING MAY OCCUR WHERE EXISTING TREE LINE IS MAINTAINED (TYP.)
17. SEWAGE SYSTEM DESIGN AND ASSOCIATED GRADING SHALL BE THE RESPONSIBILITY OF THE SYSTEM DESIGNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE GRADING AROUND THE SEWAGE SYSTEM COMPLIES WITH THE GENERAL INTENT OF THE APPROVED LOT GRADING PLAN.
18. ENGINEERED FILL REQUIREMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. REFER TO CURRENT GEOTECHNICAL REPORT FOR DETAIL. CONTRACTOR TO PROVIDE MINIMUM 48-HOURS NOTICE TO CURRENT GEOTECHNICAL CONSULTANT PRIOR TO IMPORTING AND PLACING ENGINEERED FILL.
19. ALL EAVE DOWNSPOUTS AND DISCHARGE OUTLET PIPES TO BE DIRECTED ONTO CONCRETE SPLASH PADS.

1. ALL MATERIALS SHALL COMPLY WITH OPSS, CSA, TSSA, AND TOWNSHIP STANDARDS.
2. ON SITE MATERIAL SHALL BE PROPERLY STORED, SECURED, MONITORED AND COVERED AS REQUIRED.
3. ALL SPECIFIED AGREEMENTS TO OPSS MIN 1010.
 RIP RAP TO OPSS MIN 1004 05.05 ON FILE (SEE FABRIC)
4. FILTER FABRIC - TERRAFLEX 270R OR APPROVED EQUAL UNLESS OTHERWISE NOTED.
5. ALL FILL TO BE SELECT NATURE MATERIAL OR IMPORTED SELECT SUBGRADE TO OPSS MIN 1010, ALL BACKFILL TO BE PLACED IN MAXIMUM 200mm depth and COMPACTED TO AT LEAST 98% STANDARD PROCTOR MAXIMUM.
6. GRAVEL DRIVEWAY TO BE GRADED WITH 19-25mm CRUSHED LIMESTONE, CLEAR STONE AND/OR LIMESTONE SCREENINGS COMPACTED TO 98% SPMD. TO A MINIMUM DEPTH OF 300mm OR AS DIRECTED BY THE MUNICIPAL COMMISSIONER.



DRAWN BY : T.W.	APPROVED BY : D.D.H.	PROJECT NO. : 223228	DRAWING NO. : LG1
DESIGNED BY : D.D.H.	DATE : JULY 13, 2023	SCALE : 1:200	

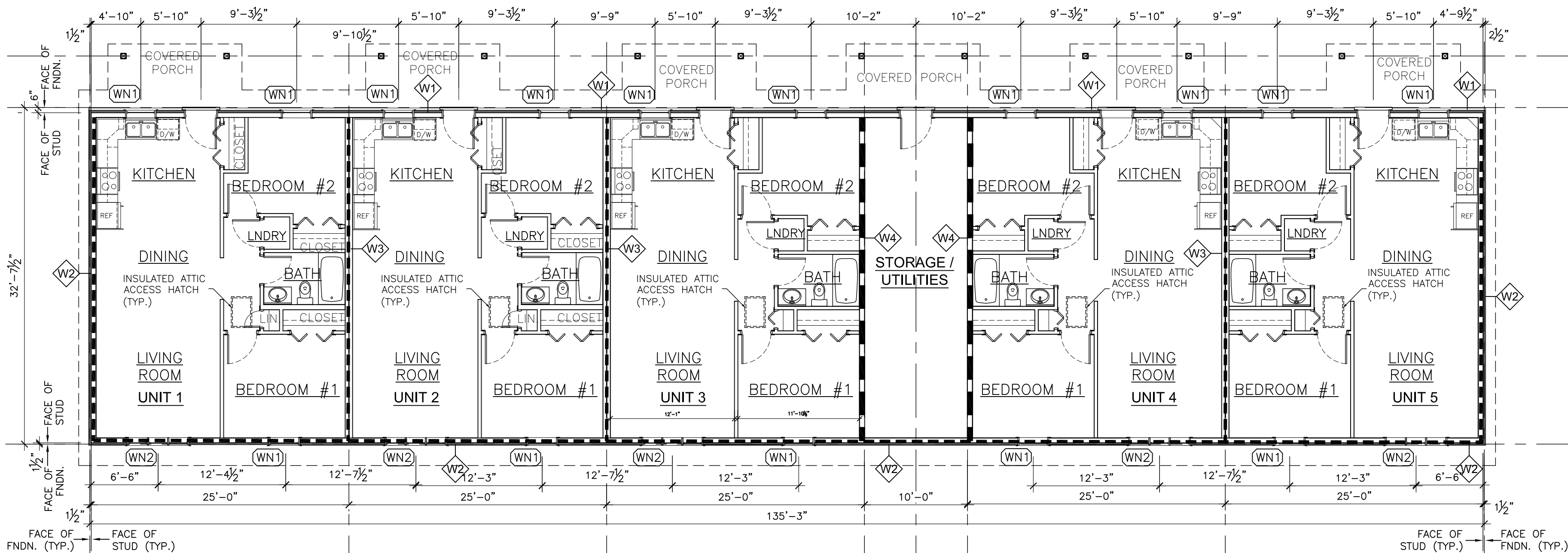


FILE W:\OwenSound\Owen Sound\223-2023\223028 Site Plan - 88-5th Avenue South West, Chesley\Drawings\For Internal Use\223028 - 88 5th Ave. SW\Chesley - LGP - TN.dwg LAYOUT Layout1



Appendix 3

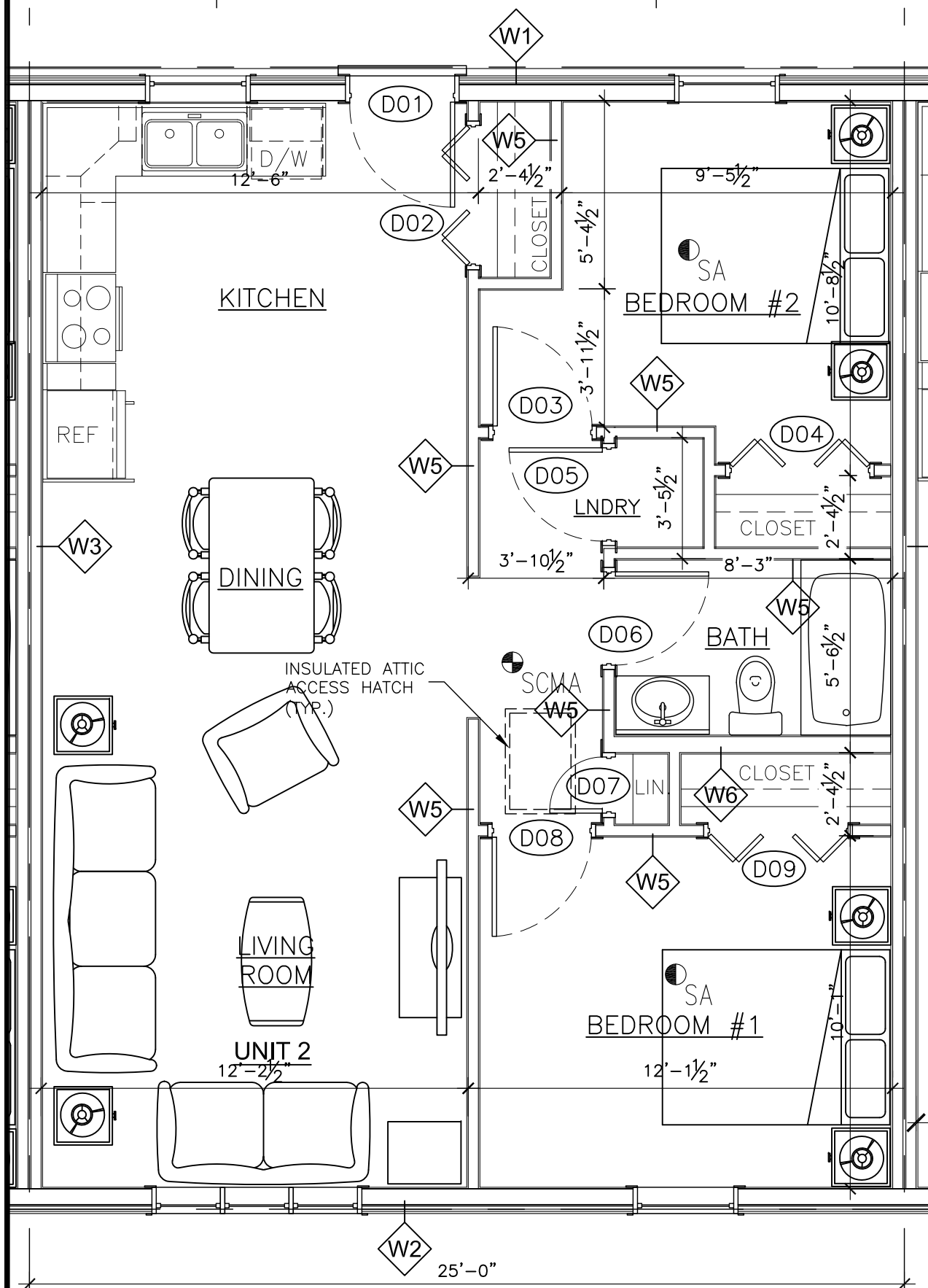
Floor and Elevation Plans



MAIN FLOOR PLAN

1/8" = 1'-0"

- SA = SMOKE ALARM
SCMA = 120V COMBINATION SMOKE AND CARBON MONOXIDE ALARM



TYPICAL UNIT PLAN

1/4" = 1'-0"

WALL TYPE - W1 (R24.0) 5/8" TYPE 'X' FIRE-CODE GYPSUM BOARD SUPER 6 MIL. POLY VAPOUR BARRIER 2x6 SPF #2 STUDS AT 16" o.c. MINERAL FIBRE BATT INSUL. (R19.0) FILL STUD 1/2" PLYWOOD SHEATHING 1" EXTRUDED POLYSTYRENE RIGID INSULATION (R10.0 C.I.) AIR RETARDER (TYVEK) 1" AIR SPACE MASONRY VENEER AS SELECTED BY OWNER	WALL TYPE - W2 (R24.0, 45 min FRR) 5/8" TYPE 'X' FIRE-CODE GYPSUM BOARD SUPER 6 MIL. POLY VAPOUR BARRIER 2x6 SPF #2 STUDS AT 16" o.c. w/ 6" MINERAL FIBRE BATT INSUL. (R19.0) 1/2" PLYWOOD SHEATHING 1" EXTRUDED POLYSTYRENE RIGID INSULATION (R10.0 C.I.) AIR RETARDER (TYVEK) 1x4 SPF #2 STRAPPING AT 16" o.c. VINYL SIDING AS SELECTED BY OWNER
WALL TYPE - W3 (TYP. DEMISING WALL) (SB-3 STC 57, F.F.R. 45 MINUTE REQ'D) 5/8" TYPE 'X' FIRE-CODE GYPSUM BOARD 2x4 SPF #2 STUDS AT 16" o.c. MINERAL FIBRE BATT INSULATION (FILL CAVITY) 1" AIR SPACE 2x4 STUDS AT 16" O.C. (STAGGER WITH OPPOSITE STUDS) MINERAL FIBRE BATT INSULATION (FILL CAVITY) 5/8" TYPE 'X' FIRE-CODE GYPSUM BOARD PER OBC SB3, SIMILAR TO 'W13a' = 1 hr. FRR; STC = 57.	WALL TYPE - W4 (1 HR FRR) 5/8" TYPE 'X' FIRE-CODE GYPSUM BOARD 2x6 SPF #2 STUDS AT 16" o.c. MINERAL FIBRE BATT INSUL. (FILL CAVITY) 5/8" TYPE 'X' FIRE-CODE GYPSUM BOARD
WALL TYPE - W5 1/2" GYPSUM BOARD 2x4 SPF #2 STUDS AT 16" o.c. MINERAL FIBRE BATT INSUL. (FILL CAVITY) 1/2" GYPSUM BOARD NOTE: PROVIDE PAPERLESS GYPSUM BOARD IN ALL BATHROOM AND LAUNDRY AREAS	WALL TYPE - W6 1/2" GYPSUM BOARD 2x6 SPF #2 STUDS AT 16" o.c. MINERAL FIBRE BATT INSUL. (FILL CAVITY) 1/2" GYPSUM BOARD NOTE: PROVIDE PAPERLESS GYPSUM BOARD IN ALL BATHROOM AND LAUNDRY AREAS

WALL TYPE NOTES:

- USE WATER RESISTANT OR PAPERLESS GYPSUM BOARD IN BATHROOMS.
- ALL WALL TYPES ARE TO EXTEND TO U/S OF TRUSS ROOF FRAMING ABOVE.
- WALLS SHOWN WITH AN STC VALUE ARE INTENDED TO BE A SOUND BARRIER AND ARE TO BE CONSTRUCTED AS INDICATED IN THE SUPPLEMENTAL STANDARD SB-3 OF THE 2012 ONTARIO BUILDING CODE.
- IN ALL CASE WHERE A SINGLE LAYER OF GYPSUM BOARD IS SHOWN, ALL JOINTS ARE TO BE SUPPORTED WITH FRAMING MEMBERS.
- DO NOT LOCATE ELECTRICAL BOXES ON OPPOSITE SIDES OF WALL FROM EACH OTHER.
- PROVIDE WOOD BLOCKING AS REQUIRED BETWEEN TRUSSES AND ABOVE PARTITIONS.



ARCHITECT:

**DAVID JAMES DIEBEL
ARCHITECT INC.**

519.934.3735

www.diebelarch.com

OWNER:

Tyler Becker

PROPOSED :

5 PLEX TOWN HOME
88 5th AVE. SOUTH WEST
CHESLEY, ONTARIO
MUNIC. OF ARRAN-ELDERSLIE

DRAWING NAME:

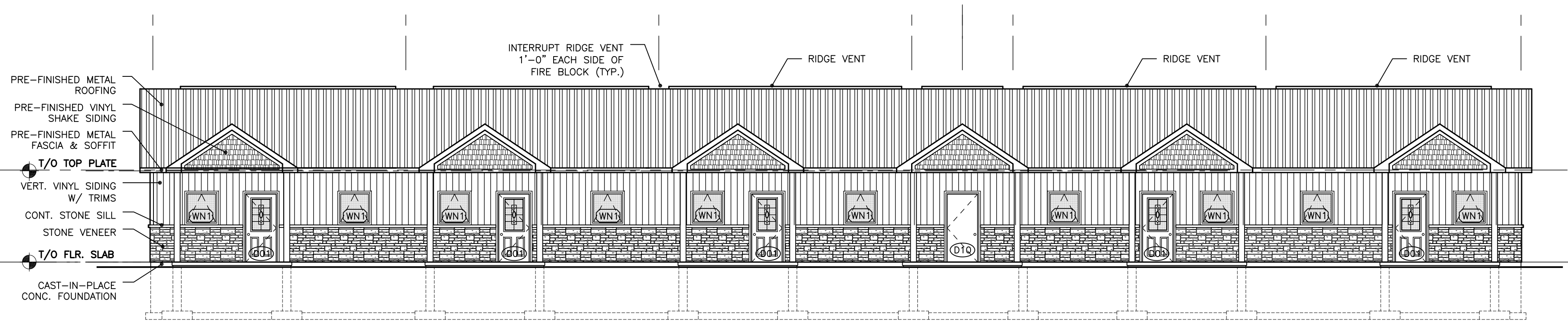
**MAIN FLOOR PLAN AND
TYPICAL UNIT LAYOUT**

PROJECT #.:
2021-23

DWG. #:

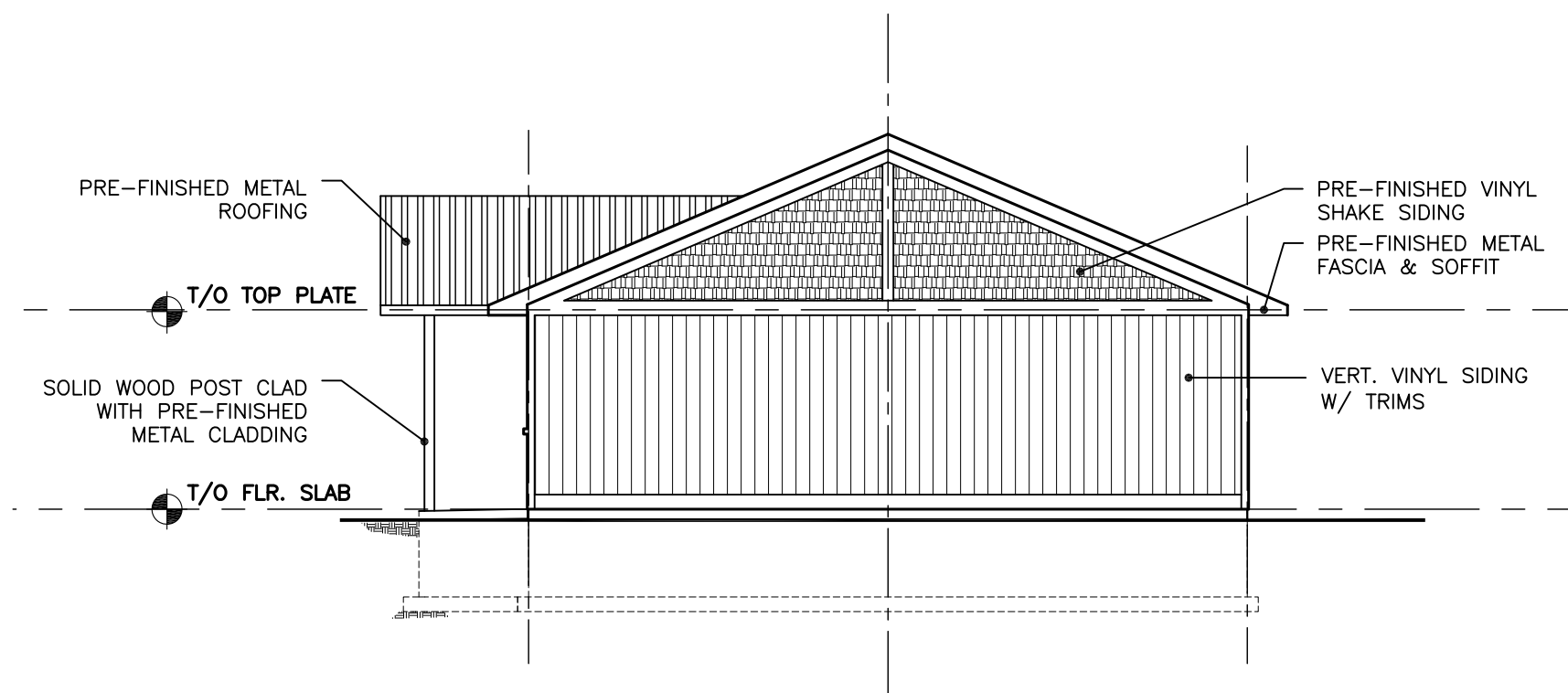
SCALE:
AS NOTED

A2.1



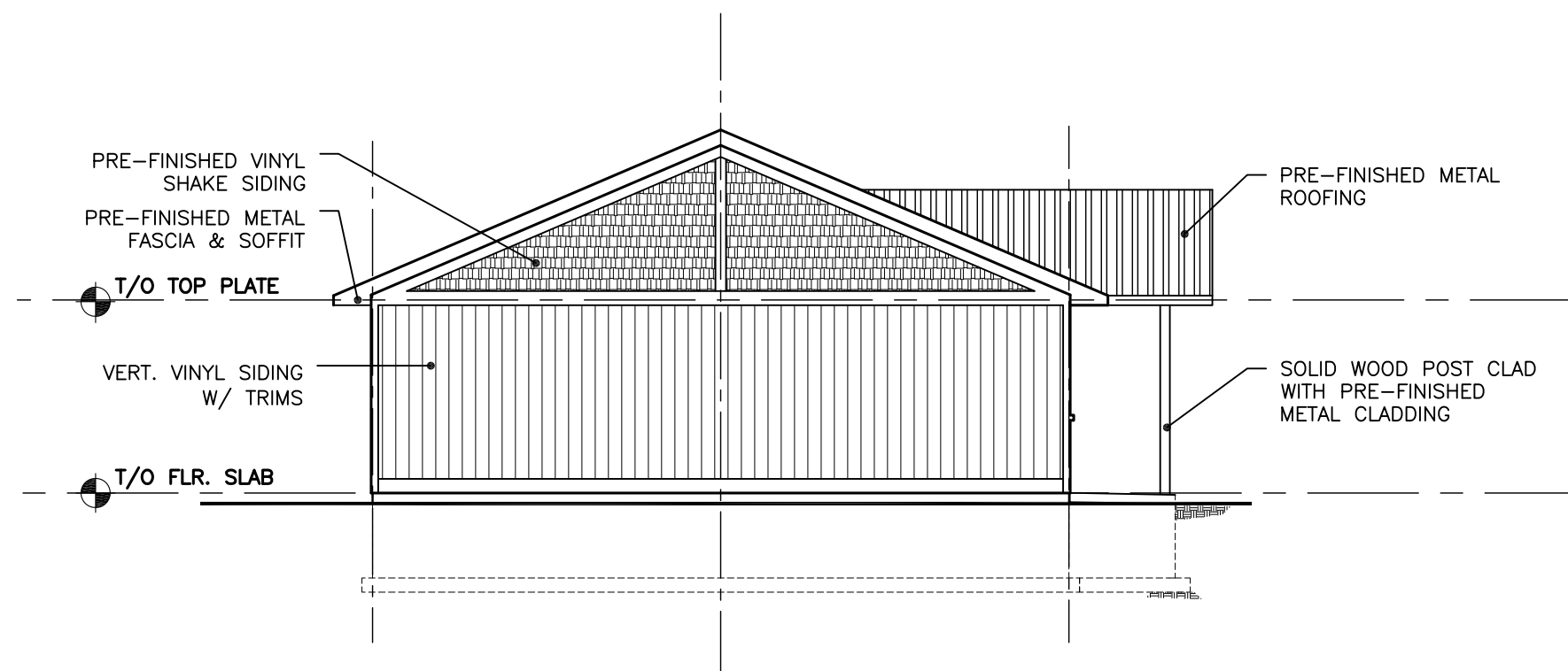
NORTH ELEVATION

1/8" = 1'-0"



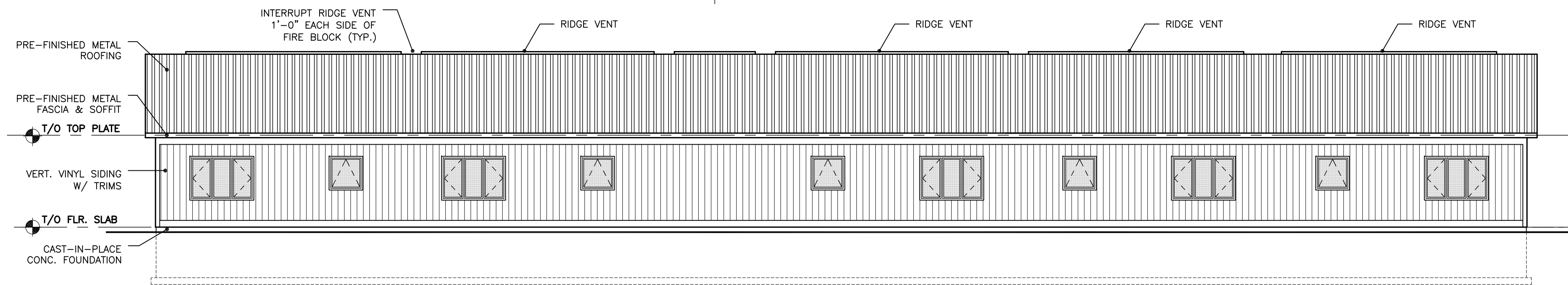
WEST ELEVATION

1/8" = 1'-0"



EAST ELEVATION

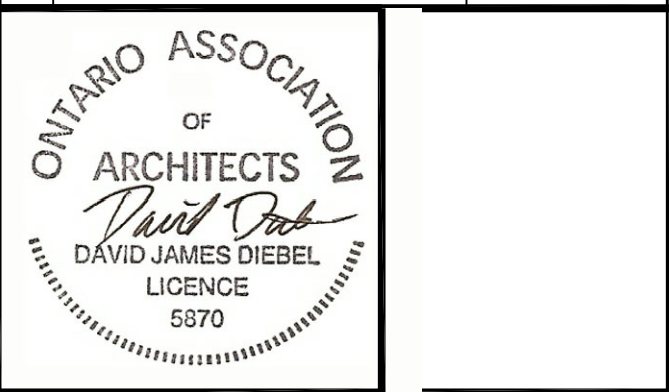
1/8" = 1'-0"



SOUTH ELEVATION

1/8" = 1'-0"

4.	ISSUED FOR PERMIT	2022.08.21
3.	ISSUED FOR REVIEW	2022.02.25
2.	ISSUED FOR REVIEW	2022.02.23
1.	ISSUED FOR REVIEW	2021.11.17



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88 5th AVE. SOUTH WEST
CHESLEY, ONTARIO
MUNIC. OF ARRAN-ELDERSLIE

DRAWING NAME:
ELEVATIONS

PROJECT #.: 2021-23	DWG. #: A3.0
SCALE: AS NOTED	